



## Village of Glen Ellyn TREE PRESERVATION

### 1. Permit Application Requirements

The completion of this packet is required by Ordinance 4925, 4926, and 4927 before any Building Permit can be issued in relation to development of one or more of the following:

- An area 300 sq. ft. and greater
- Enlargement of an existing structure by 20 percent or more
- Grading of 1500 sq ft. or greater

The following is included in this packet.

1. Application
2. Plan Submittal Checklist and Statement of Compliance
3. Action Plan Description
4. Contractor Tree Removal Notification Form
5. General Information
6. Tree Protection Guidelines and Definitions

Please complete the following and include with Building Permit Requirements. NOTE: Any tree preservation measures noted on the Tree Preservation Plan must be in place and approved by the Village of Glen Ellyn prior to beginning any construction--**a permit will not be issued until the Tree Preservation Plan has been approved and all appropriate Tree Protection measures have been completed.**

Date of Submittal: \_\_\_\_\_

Project Address: \_\_\_\_\_ Glen Ellyn, IL 60137

Applicant Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State \_\_\_\_\_ ZipCode: \_\_\_\_\_

Phone No.:(\_\_\_\_\_) \_\_\_\_\_ Fax No.:(\_\_\_\_\_) \_\_\_\_\_

**All communications concerning the Tree Preservation Plan should be directed to:**

Contact Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State \_\_\_\_\_ ZipCode: \_\_\_\_\_

Phone No.:(\_\_\_\_\_) \_\_\_\_\_ Fax No.:(\_\_\_\_\_) \_\_\_\_\_

I understand the above and have completed all requirements

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

## Village of Glen Ellyn 2. Plan Submittal Checklist



Project  
Address: \_\_\_\_\_

**Type of Project** (check all that apply):

- New House     
  Demo     
  Addition-Class I     
  Addition-Class II     
  Addition-Class III  
 Deck / Patio     
  Garage / Driveway     
  Other (describe) \_\_\_\_\_

Use the following checklist to prepare your Plan. A scale drawing of your Project, which is usually a copy of the Plat of Survey or an Engineer’s/Architect’s blueprint, is required. Your engineer, arborist and/or contractor may be the resource for much of this information. Four (4) copies of the site Plan must be submitted—if a grading Plan is required, nine (9) copies of the site Plan are necessary—along with this completed packet.

1. Identify the following on your Plan drawing:	Identified	N/A
a. Location of proposed structure (house, garage, addition, etc.)	<input type="checkbox"/>	<input type="checkbox"/>
b. Location, shape, and arrangement of all permanent driveways, parking areas, temporary material storage sites, and access to work site	<input type="checkbox"/>	<input type="checkbox"/>
c. Location of <b>existing</b> underground Utility services including water, sanitary sewer, storm sewer, gas, electric and cable TV	<input type="checkbox"/>	<input type="checkbox"/>
d. Location of any <b>new</b> Utility services including water, sanitary sewer, storm sewer, gas, electric and cable TV which may impact trees on the Village Right-of-Way	<input type="checkbox"/>	<input type="checkbox"/>
e. Location of all Protected, Significant and Unprotected trees (consult the General Information packet for definitions): 1. On your lot 2. Within 15’ of the lot line on neighboring lots 3. On the Public Right-of-Way (parkway) Assign a number to these trees	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
f. Location of tree(s) removed within prior one-year period; place an “X” over tree(s) location	<input type="checkbox"/>	<input type="checkbox"/>
g. Proposed location of protective tree and perimeter fencing	<input type="checkbox"/>	<input type="checkbox"/>
h. Existing and proposed grading and any grade changes of the Development area showing elevations with contour lines at one foot (1’) intervals if a grading plan is required by some other provision of the Village Code	<input type="checkbox"/>	<input type="checkbox"/>
i. Limits of excavation for the foundation	<input type="checkbox"/>	<input type="checkbox"/>
<b>2. Identify the following on your Action Plan:</b>		
a. All Protected, Significant and Unprotected trees that are shown on your Plan, with their corresponding numbers, Species, D.B.H. (diameter at breast height), Condition, Classification, and Action (if any)	<input type="checkbox"/>	<input type="checkbox"/>

	Yes	N/A
Will this project include <u>any</u> excavation (including driveways) within the Critical Root Zone of trees on the Public Right-of-Way? If so, have all attempts, such as augering or tunneling, been made to avoid the Critical Root Zones of affected Protected Village trees?	<input type="checkbox"/>  <input type="checkbox"/>	<input type="checkbox"/>  <input type="checkbox"/>
Are any Protected trees on the Village Right-of-Way proposed for removal due to access problems/construction issues? <b>NOTE: You must obtain written permission from the Village Forester prior to removal of any tree on the Public Right-of-Way</b>	<input type="checkbox"/>	<input type="checkbox"/>

**ADDITIONAL REQUIREMENTS:**

1. Call J.U.L.I.E. at (800) 892-0123 for utility locations before digging.
2. Prior to the issuance of a Building Permit, protective Tree and Perimeter fencing must be reviewed and approved by the Forestry Consultant. In some cases, it will be required to post the approved Tree Preservation Plan and Action Plan at the building site.
3. All work must be performed according to the approved Tree Preservation Plan.
4. No grading/filling is allowed within the protected Critical Root Zone.
5. No vehicles or equipment can be driven over or material stored on the Critical Root Zones of Protected trees or on the Public Right-of-Way.
6. Tree, silt, and perimeter fencing must be properly maintained throughout construction. Tree fence for Unprotected trees should remain in place throughout construction except when direct access is necessary. Approval by the Forestry Consultant must be obtained before entering the Critical Root Zone area.
7. All required tree, silt, and perimeter fencing must remain in place until the time of final grading and landscaping and can only be removed upon review and approval by the Forestry Consultant.
8. Attachments (wires, fences, etc.) other than those approved for guying, bracing or wrapping must not be attached to Protected Trees.

**STATEMENT OF COMPLIANCE:**

This Plan has been prepared in accordance with Village of Glen Ellyn Ordinances No. 4925, 4926 and 4927.

Prepared by: Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

I understand the requirements of Tree Preservation as shown on this Plan:

Owner's Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**Village of Glen Ellyn**  
**4. Statement of Compliance**



This plan has been prepared in accordance with Village of Glen Ellyn ordinance:  
(check all that apply)

- Tree Preservation on Public Property - Ordinance 4925
- Tree Preservation on Private Property - Ordinance 4926
- Arboricultural Specifications Manual - Ordinance 4927

Prepared By:

Name:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

I understand the requirements of the tree preservation as shown on this plan.

Owner=s Name:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**General Plan Notes**

1. Call J.U.L.I.E. (1-800-892-0123) for utility locations before digging or tree planting.
2. Prior to the issuance of a building permit, the protective fencing shall be reviewed and approved by the Forestry Consultant.
3. All work must be performed according to the approved Tree Preservation Plan.
4. **An approved Tree Preservation Plan must be available on the building site.**
5. Stay within designated work access areas shown on the plan.
6. There shall be no grading or filling within the protected critical root zones.
7. No plantings shall obstruct drainage or utility easements.
8. No balled and burlapped plants shall be installed in the critical root zones of protected trees.
9. No equipment shall be driven over or material stored on the critical root zones of protected trees.
10. Tree fence and silt fence for all protected trees must be properly maintained throughout construction. Tree fence for unprotected trees should remain in place throughout construction, except when direct access is necessary. Before entering critical root zone area, check with Forestry Consultant.
11. All required tree and silt fencing shall remain in place until the time of finish grading and landscaping and can only be removed upon review and approval by the Forestry Consultant.
12. Attachments (wires, fences, etc.) other than those approved for guying, bracing or wrapping must not be attached to protected trees.





## Village of Glen Ellyn

### 6. Tree Preservation Plan General Information

1. All requirements for Building Projects, including Tree Preservation requirements, must be submitted to the Planning & Development Department, 535 Duane St., Glen Ellyn, Illinois.
2. **Four (4) copies of a Tree Preservation Site Plan and one (1) copy of the Tree Preservation Application packet** must be submitted. Do not send back this page or the attached Tree Protection Guidelines--these are for your reference.

If a grading plan is required, you must provide nine (9) copies of a combined Tree Preservation Plan and Grading Plan. Three are for the Consulting Forester and six are for the Engineering review.

3. The Consulting Forester will review the Tree Preservation Site Plan and Application packet for compliance. **Tree Preservation Plans will *only* be reviewed on Tuesdays and Thursdays only.** One copy of the Site Plan and a review letter will be sent back to the applicant.
4. Schedule Tree Fence Inspections with Public Works (630) 469-6756 after the Site Plan has been approved.
5. Direct all questions to the Consulting Forester, Dave Coulter's, voicemail at (630) 547-5323.
6. The Consulting Forester may require that you post an approved Tree Preservation Plan and Action Plan at the building site—see attached Diagram for display details.
7. Tree preservation ordinances can be purchased at the Cashiers Office.
8. Any requests for refund deposits must be directed through the Planning & Development Department.

**Please be aware that per ordinance section 4925-4-8-3-(D), fines in the amount of \$25 will be assessed for each tree fence violation.**

## Village of Glen Ellyn 7. Tree Protection Guidelines and Definitions



### **Tree Protection:**

The Contractor/Developer shall be responsible for taking measures to minimize damage to tree limbs, tree trunks, and tree roots located in the parkway.

### **Temporary Fence:**

1. When tree fence is required, the Contractor shall erect a temporary fence (see Diagram 7 and 8) around all trees adjoining all affected properties to establish a tree protection zone before any work begins. No materials shall be stored or vehicles driven or parked within the tree protection zone.
2. The temporary fence shall be erected at the job site as identified on the Plan.
3. The fence shall be similar to a 48-inch high plastic poly-type or any other type of highly visible barrier. It shall be properly maintained and shall remain erect until completion of the construction project.
4. Perimeter fence, similar to the required tree preservation fencing must be installed around the perimeter of the property of the entire designated area or site for all Class II and greater projects.

### **Excavation:**

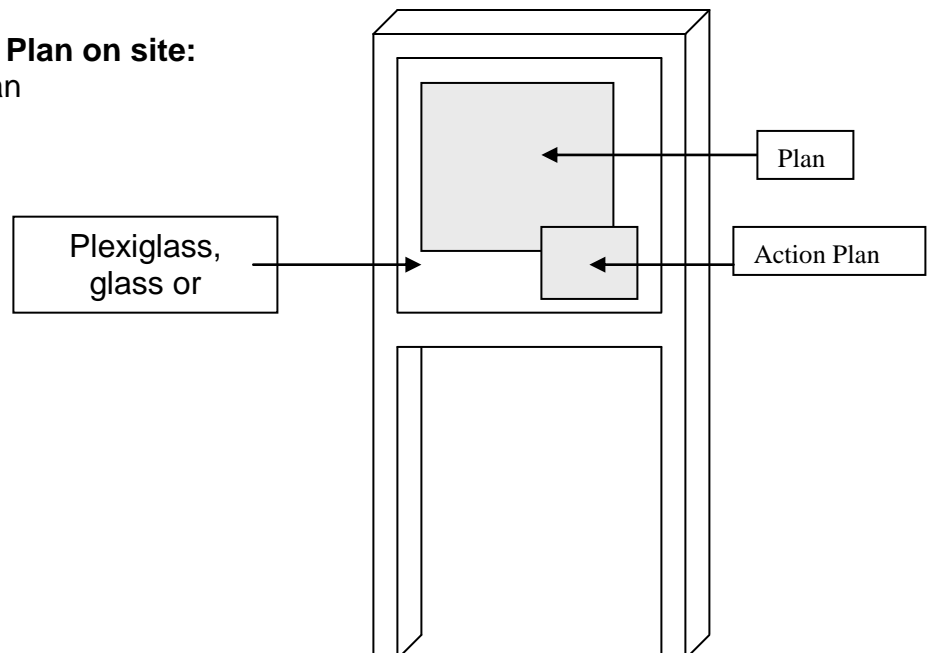
All utilities installed within the Critical Root Zone of parkway trees are required to be augered in accordance with the attached augering specifications (see Table 5 and Diagram 9); trenching is prohibited. Alternative methods for installation must be approved by the Forestry Consultant.

### **Tree Removal:**

Parkway trees shall not be removed without written permission from the Village Forester.

### **Posting of the Plan and Action Plan on site:**

If required to be posted on site, an approved Plan and Action Plan must be laminated or placed behind glass or plexiglass and posted one foot (1') behind the sidewalk (or on the border of the Public Right-of-Way and private property if no sidewalk exists) in a manner similar to that shown in this drawing.



See Ordinances 4925, 4926, 4927 for detailed requirements. Ordinances can be purchased at the Cashiers Office, 535 Duane St., Glen Ellyn, Illinois.

**Definitions:**

**CRITICAL ROOT ZONE**

The area inscribed by an imaginary line on the ground beneath a Tree having its center point at the center of the trunk of the Tree and having a radius equal to one (1) foot for every inch of D.B.H. but not less than six (6) feet from the trunk of the tree. The Village Forester, or his/her designee, may expand or partially retract the Critical Root Zone depending on the Tree species and site-specific situations so as to improve the chances that Trees will not be damaged during construction and to permit construction to take place, especially where Protected Trees exist on adjacent property and the Critical Root Zone may need to be retracted because of narrow side yard dimensions.

**DRIP LINE**

A line drawn on the ground surface directly beneath and perpendicular to the maximum radius of the Crown of an existing Tree but not less than six (6) feet from the trunk, whichever is greater.

**PROTECTED TREE**

Any Tree in the Village shown on a Tree Preservation Plan as being retained after Development with a ten (10) inch D.B.H. or greater, or a multi-branch Tree which has an aggregate diameter of sixteen (16) inches D.B.H. or greater, or any Significant Tree with a diameter (5) inch or greater D.B.H.

**PUBLIC TREE**

Any Tree or Border Tree within a public right-of-way in the Village.

**PUBLIC TREE REMOVAL OR WORK PERMIT**

The permit required by this Code issued in order to Remove or do any work on any Public Tree within the corporate limits of the Village or a Village parkway.

**SIGNIFICANT TREE**

All hickory, oak or walnut species in the Village shown on a Tree Preservation Plan as being retained after Development when they reach five (5) inches D.B.H.

**UNPROTECTED TREE**

Any Tree in the Village which would otherwise be a Protected Tree but which the owner has chosen to Remove from the regulations of this Chapter but only after initial actions have been taken to protect the Tree, such as the establishment of protective fencing. The designation as an Unprotected Tree allows the applicant to provide initial protection for Trees near, for example, critical construction zones so that an effort can be made to save the Tree during Development. This designation and initial efforts will not subject the applicant to penalties for subsequent failure to protect or circumstances beyond the applicant's control which resulted in damage to the Unprotected Tree.