



NOTICE OF PUBLIC HEARING

Ray Whalen, owner of the property at 761 N Park Boulevard, is requesting a public hearing for variations in accordance with Section 10-10-12 of the Glen Ellyn Zoning Code. The Glen Ellyn Zoning Board of Appeals will conduct a public hearing to consider the variations on **Tuesday, March 28, 2017** at 7:00 p.m. on the third floor in the Civic Center, 535 Duane Street, Glen Ellyn, Illinois. Anyone is welcome to attend.

The property owner is requesting approval of variations from the Glen Ellyn Zoning Code as follows:

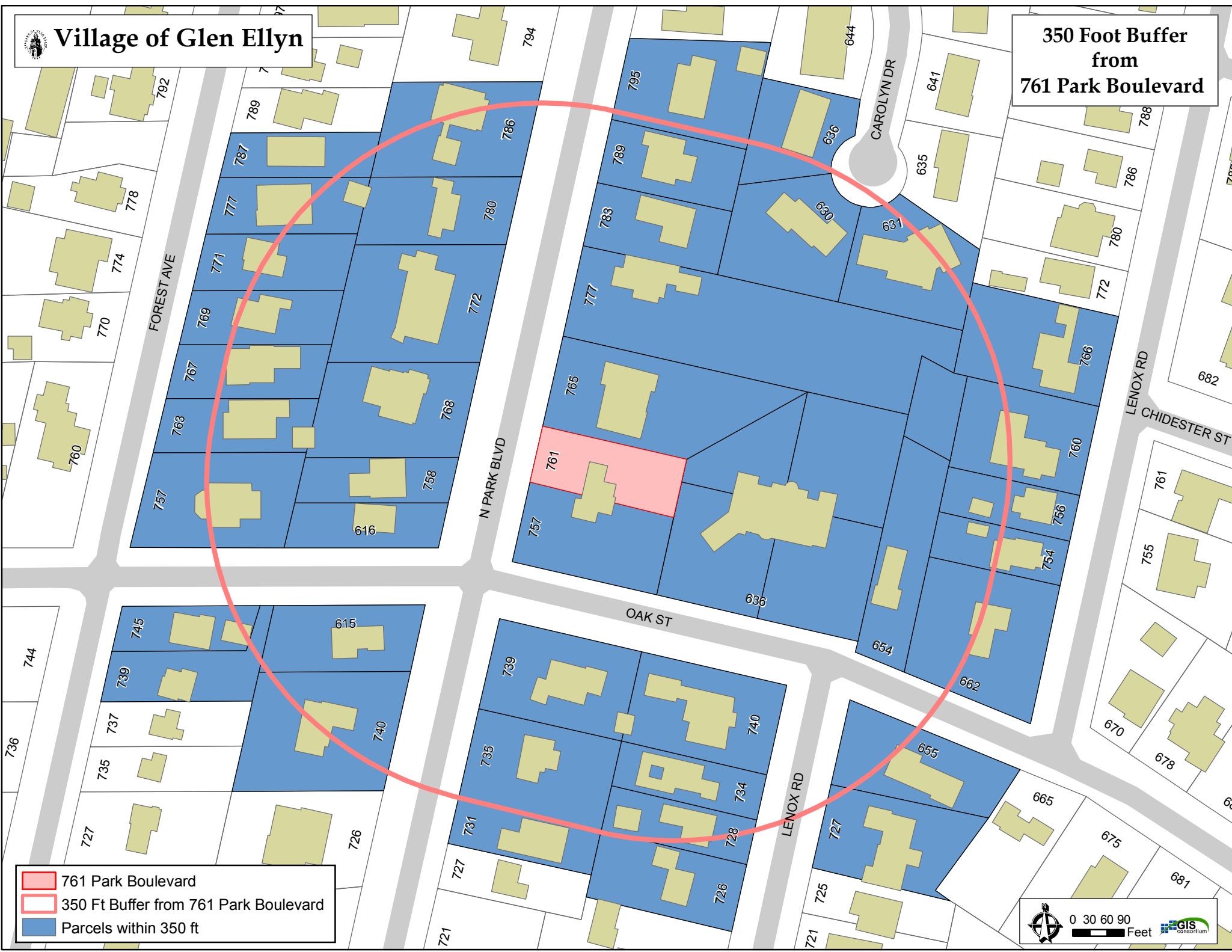
1. Section 10-4-8(E)1 to allow the construction of a new two-story single family residence with an attached garage resulting in a lot coverage ratio of 24.5% in lieu of the maximum allowable lot coverage ratio of 20% for single-family dwellings, more than one story and accessory structures.
2. 10-4-8(F)1 to allow the construction of a new two-story single family residence resulting in a maximum ridge height of 38' in lieu of the maximum allowable ridge height of 35' and an eave height of 26' in lieu of the maximum eave height of 25'.
3. Any other zoning relief necessary to construct the project as depicted on the plans presented or revised at the public hearing or at a public meeting of the Village Board.

The property is zoned R2, Residential District, and is legally described as follows:

LOT 1 IN WHALEN'S PARK BOULEVARD RESUBDIVISION, IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2013 AS DOCUMENT R2013-134815, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-11-201-043-0000

Plans related to the proposed project are available for public review in the Planning and Development Department, Civic Center, 535 Duane Street, Glen Ellyn, Illinois. If you have questions, please contact Kelly Purvis at (630) 547-5371. For individuals with disabilities who have questions regarding the accessibility of the meeting or facilities, contact Al Stonitsch, ADA Coordinator, at (630) 469-5000.



- 761 Park Boulevard
- 350 Ft Buffer from 761 Park Boulevard
- Parcels within 350 ft

- FINAL GRADE**
- 40 - EXISTING SPOT ELEV.
 - 1/F - TOP WALL ELEV.
 - 5/F - BOTTOM WALL ELEV.
 - 735 - EXISTING CONTOUR
 - W- - EXISTING DIRECTION OF FLOW
 - W- - SANITARY SEWER
 - W- - STORM SEWER
 - W- - WATERMAIN
 - W- - HYDRANT
 - - MANHOLE
 - - M.H.
 - - W.V.V. - WATER VALVE VAULT
 - - S.P. - SUMP PUMP
 - - D.S.P. - DOWNSPOUT OUTLET
 - - O.O.L. - CLEAN OUT

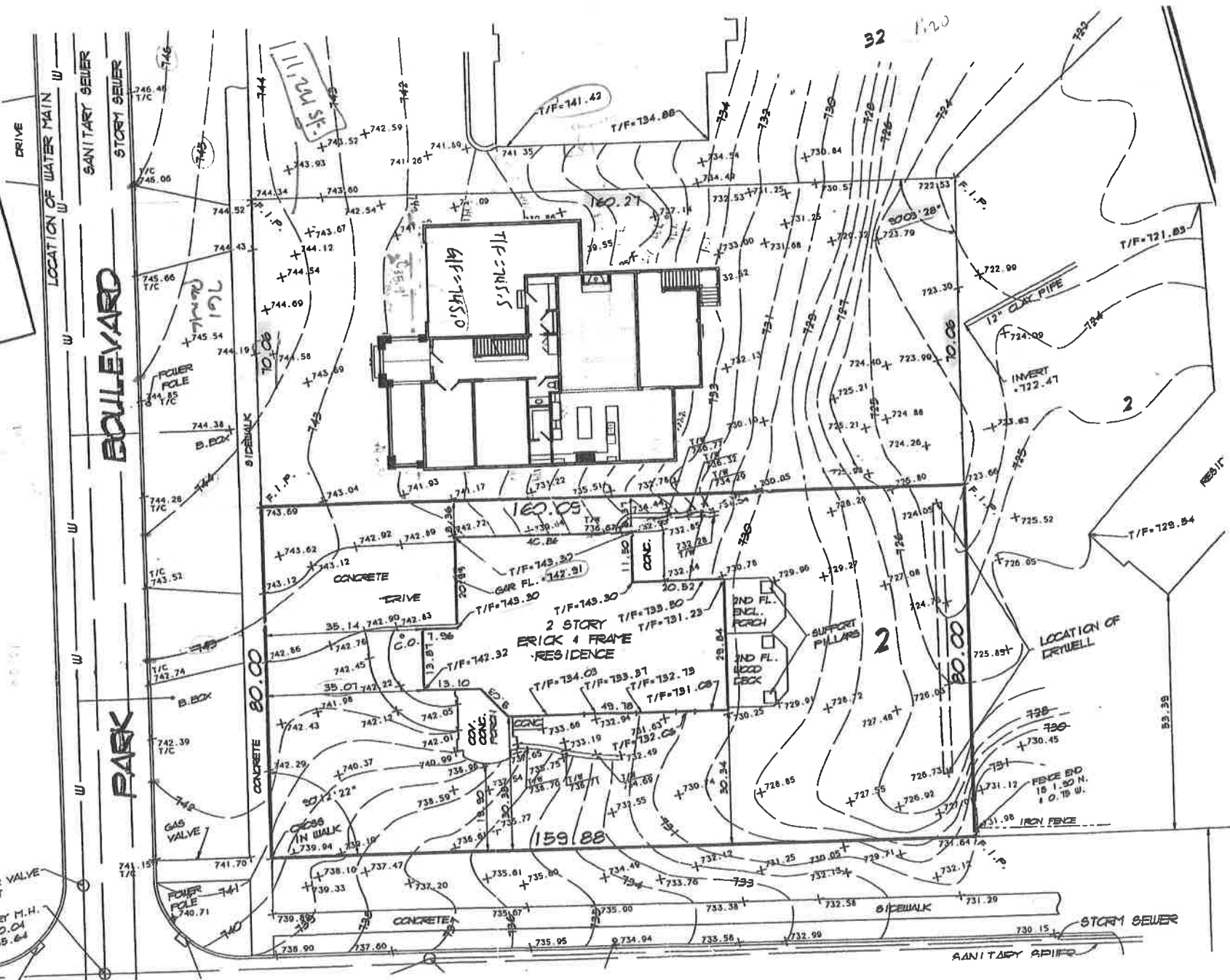


EXHIBIT 7: SITE PLAN

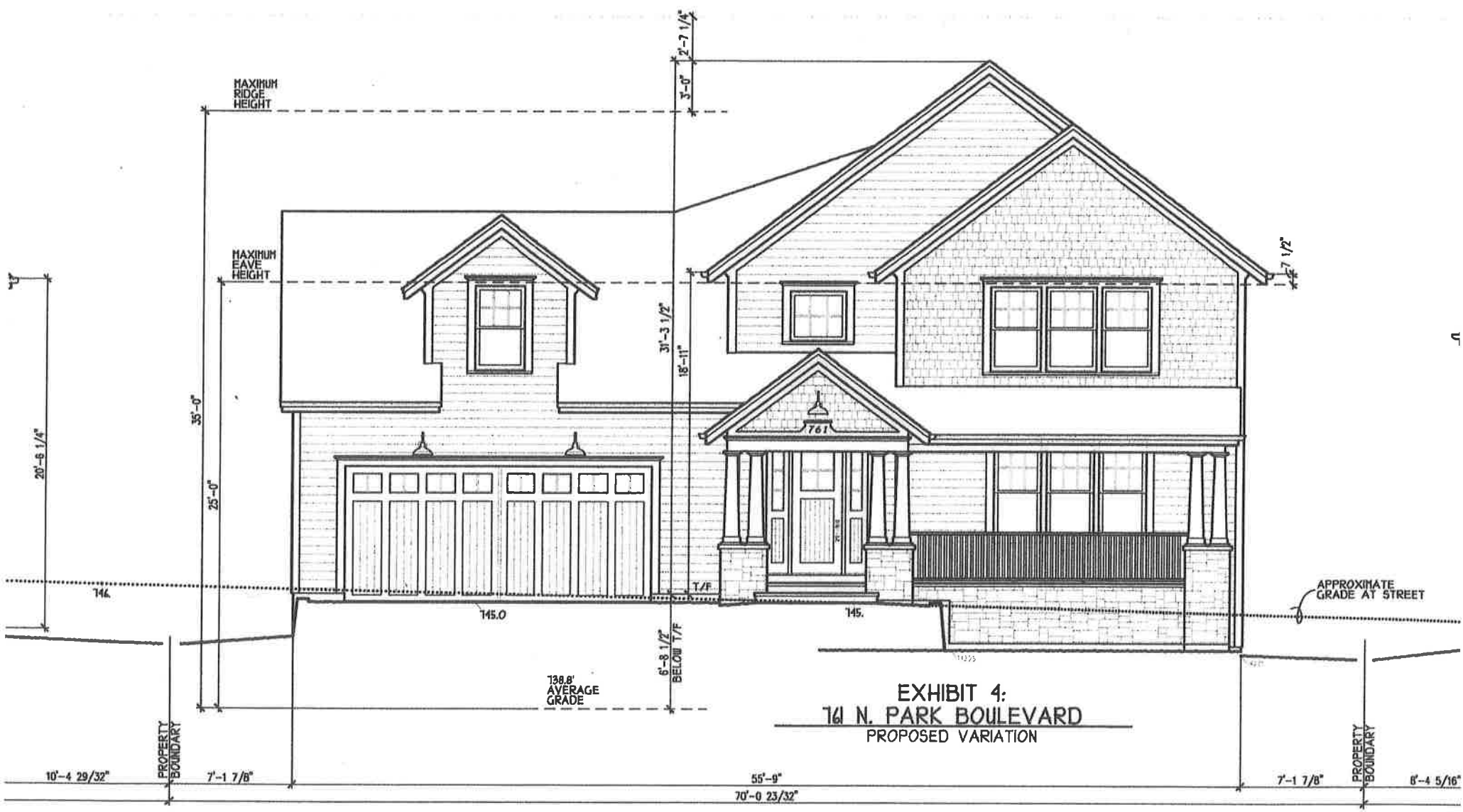


EXHIBIT 4:
 761 N. PARK BOULEVARD
 PROPOSED VARIATION

20'-6 1/4"
 35'-0"
 25'-0"
 144
 145.0
 145
 142.5
 142
 10'-4 29/32"
 7'-1 7/8"
 55'-9"
 70'-0 23/32"
 7'-1 7/8"
 8'-4 5/16"
 MAXIMUM RIDGE HEIGHT
 MAXIMUM EAVE HEIGHT
 3'-0"
 2'-7 1/4"
 3'-3 1/2"
 18'-11"
 6'-8 1/2"
 BELOW T/F
 T/F
 T/F
 T/F
 APPROXIMATE GRADE AT STREET
 PROPERTY BOUNDARY
 PROPERTY BOUNDARY

138.8'
 AVERAGE
 GRADE