



## NOTICE OF PUBLIC HEARING

Alexander and Stephanie Paluka, are in contract to purchase the property at 844 Hillside Avenue, and are requesting a public hearing for several variations in accordance with Section 10-10-12 of the Glen Ellyn Zoning Code. The Petitioners would like to construct a new 2-story home on a lot that does not meet the minimum requirements for a buildable lot area and bulk requirements of the zoning district in which it is located. The Glen Ellyn Zoning Board of Appeals will conduct a public hearing to consider these Variations on **Tuesday, March 14, 2017** at 7:00 p.m. on the third floor in the Civic Center, 535 Duane Street, Glen Ellyn, Illinois. Anyone is welcome to attend.

The property owners are requesting approval of five (5) variations from the Glen Ellyn Zoning Code as follows:

1. Section 10-4-1(L) to allow new construction of a two-story home on a lot which is currently used for single-family dwelling purposes but does not meet the minimum lot area requirement or bulk requirements of the zoning district in which it is located.
2. Section 10-4-8(D)1 to allow new construction of a two-story home with a front yard setback of 16 ft. in lieu of the minimum required front yard setback of 30 ft.
3. Section 10-4-8(D)7 to allow new construction of a home on a lot with an area of 4,374.25 sq. ft. in lieu of the minimum 8,712 sq. ft. required.
4. Section 10-4-8(D)8a to allow the construction of a two-story home on a lot with a width of 50 ft. in lieu of the minimum required 66 ft. lot width.
5. Section 10-4-8(D)9 to allow the construction of a two-story home on a lot with a depth of 87.07 ft. in lieu of the minimum required 100 ft. lot depth.
6. Any other zoning relief necessary to construct the project as depicted on the plans presented or revised at the public hearing of the Zoning Board of Appeals or at a public meeting of the Village Board.

The property is zoned R2, Residential District, and is legally described as follows:

LOT 9 (EXCEPT THE WEST 120 FEET) IN BLOCK 8 IN THAIN'S ADDITION TO GLEN ELLYN, BEING A SUBDIVISION IN SECTION 11, 12 AND 13, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 22, 1890 AS DOCUMENT 44105, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-12-310-012

Plans related to the proposed project are available for public review in the Planning and Development Department, Civic Center, 535 Duane Street, Glen Ellyn, Illinois. If you have questions, please contact Kelly Purvis, Associate Planner, at (630) 547-5371. For individuals with disabilities who have questions regarding the accessibility of the meeting or facilities, contact Al Stonitsch, ADA Coordinator, at (630) 547-5712.

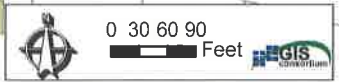


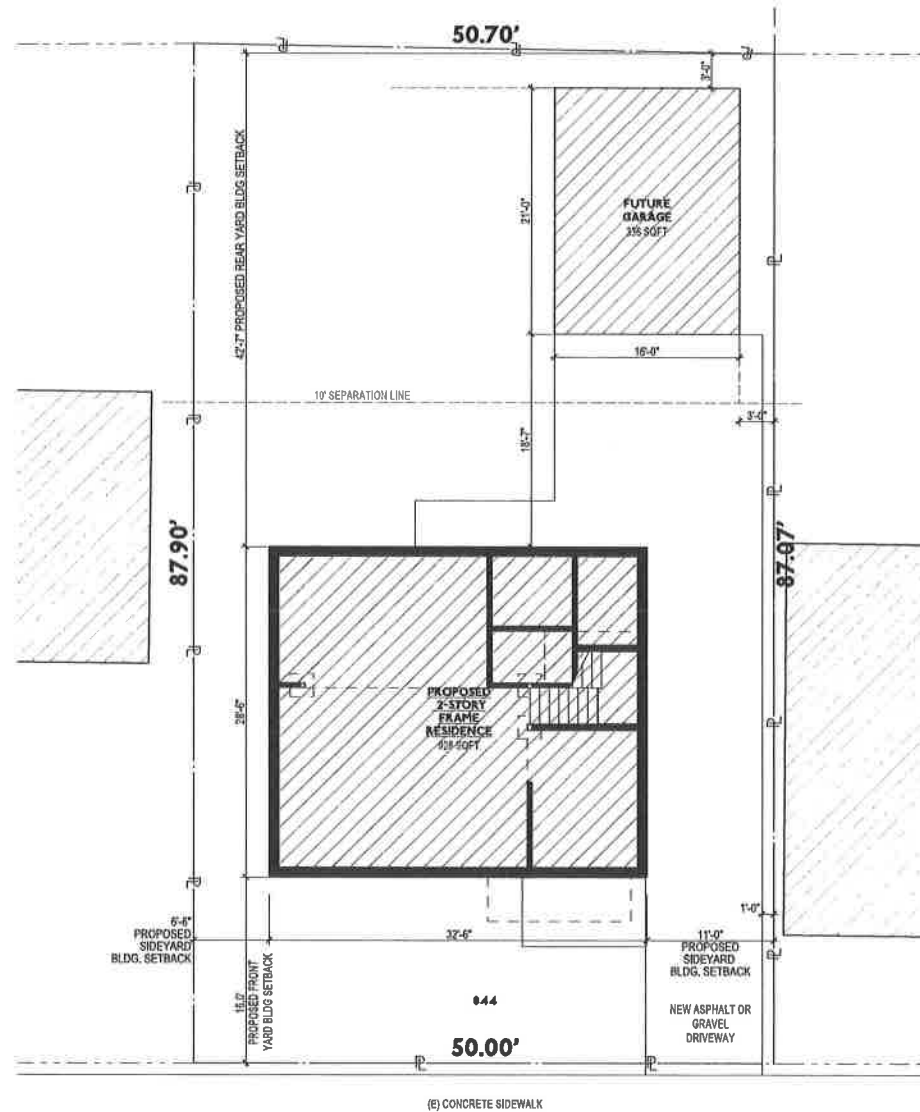
# Village of Glen Ellyn

350 Foot Buffer  
from  
844 Hillside Avenue



- 844 Hillside Avenue
- 350 Ft Buffer from 844 Hillside Avenue
- Parcels within 350 ft





TBDA

TOM BARRETT-DILLEY ARCHITECT  
 30 HANCOCK STREET ONE FIFTH FLOOR NEW  
 YORK, NY 10014

PALVEA RESIDENCE  
 844 HILLSIDE AVE  
 GLEN ELLYN, IL 60137

R.163

SITE PLAN  
 SCALE: 1/8" = 1'-0"



02.17.2017 DRAWING FRONT

PROPOSED BUILDING SETBACKS  
 PT. 2





SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0" ①

PROPOSED SOUTH ELEVATION (STREET FACING)







